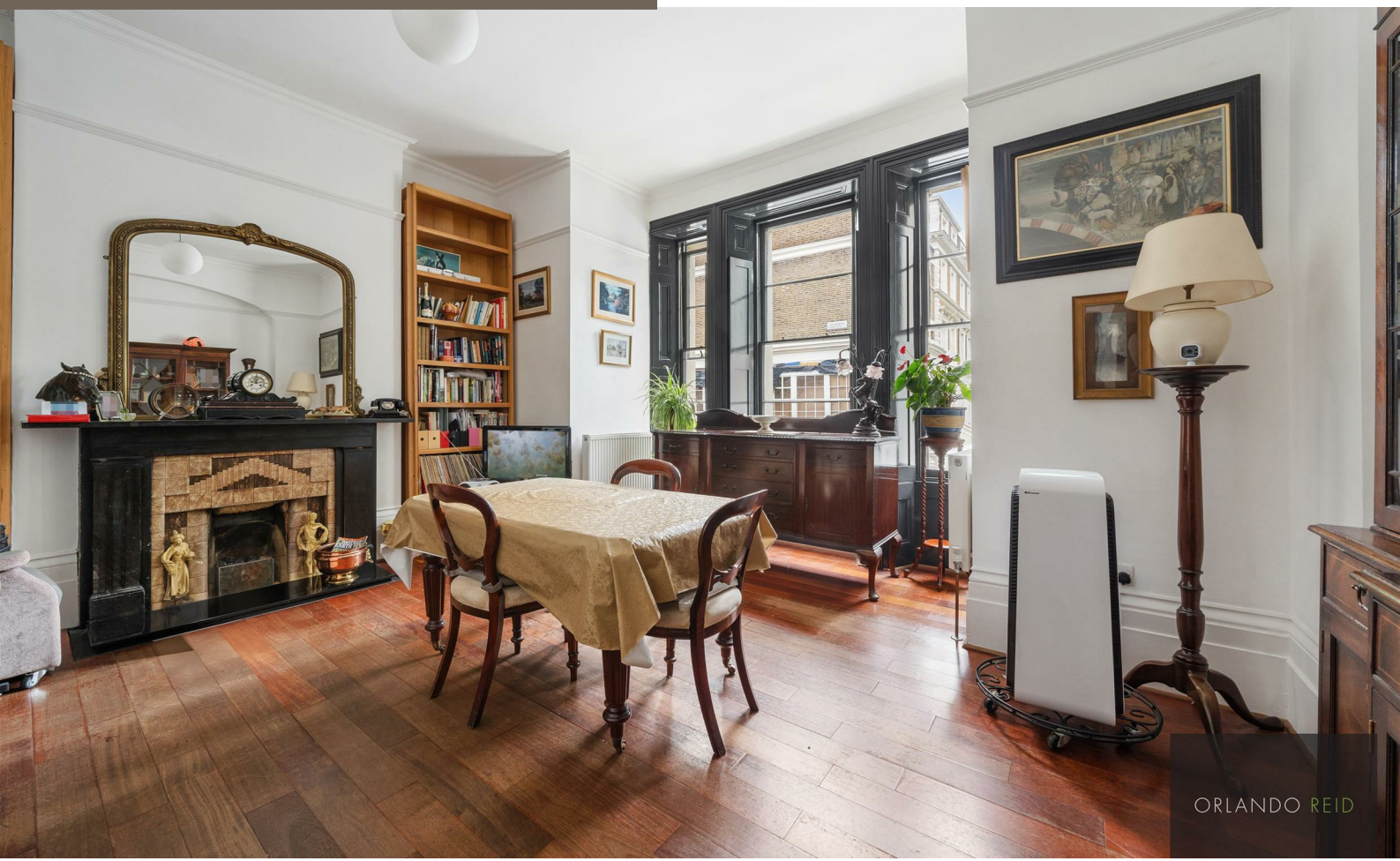




ORLANDO REID
LONDON

Albert Square, Oval, SW8
Asking Price of £



ORLANDO REID



Orlando Reid are delighted to present to the market an impressive, and distinguished semi-detached, Grade II-listed, Georgian, family home within the highly sought-after residential pocket of Albert Square, on the borders of Oval and Stockwell. One of the most highly esteemed garden squares in South West London.

Arranged over five floors, this charming property provides an almost endless abundance of living space – comprising seven bedrooms, further studies, dining rooms, storage rooms, two kitchens, four bathrooms, and an additional WC. High ceilings, and good natural light are a common theme throughout this property. With a property of this size, and magnitude, there is an almost-endless array of potential internal layouts available for the prospective buyer. Additionally, there is a 216sqft (approx..) of storage available within the ‘old stables’, located at the rear of the garden.

Another feature that sets this property apart from others is the abundance of tranquil outside space it offers. With a front, and rear patio accompanying the lower ground floor, a first-floor front-facing terrace looking out to the beautiful Albert Square, and a secluded rear south-facing garden measuring in approximately 107 feet in length – perfect for prospective buyers with a green finger, or the desire to design a wonderful, landscaped oasis.

Albert Square is a stunning, spacious, and green private square with fantastic, mature trees accompanying the perimeter – all helping to create an 'out of London' feeling for the residents. The neighbourhood has also recently adopted 'Low Traffic Zone' status.



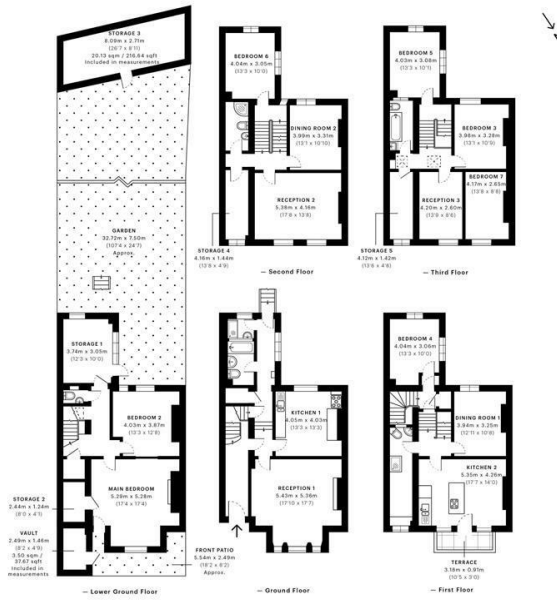


Albert Square, SW8

CAPTURE DATE: 02/03/2022 LASER SCAN POINTS: 16,246,768

GROSS INTERNAL AREA

410.44 sqm / 4417.94 sqft



GROSS INTERNAL AREA (GIA)
 410.44 sqm / 4417.94 sqft

NET INTERNAL AREA (NIA)
 318.91 sqm / 3431.64 sqft

EXTERNAL STRUCTURAL FEATURES
 22.98 sqm / 247.35 sqft

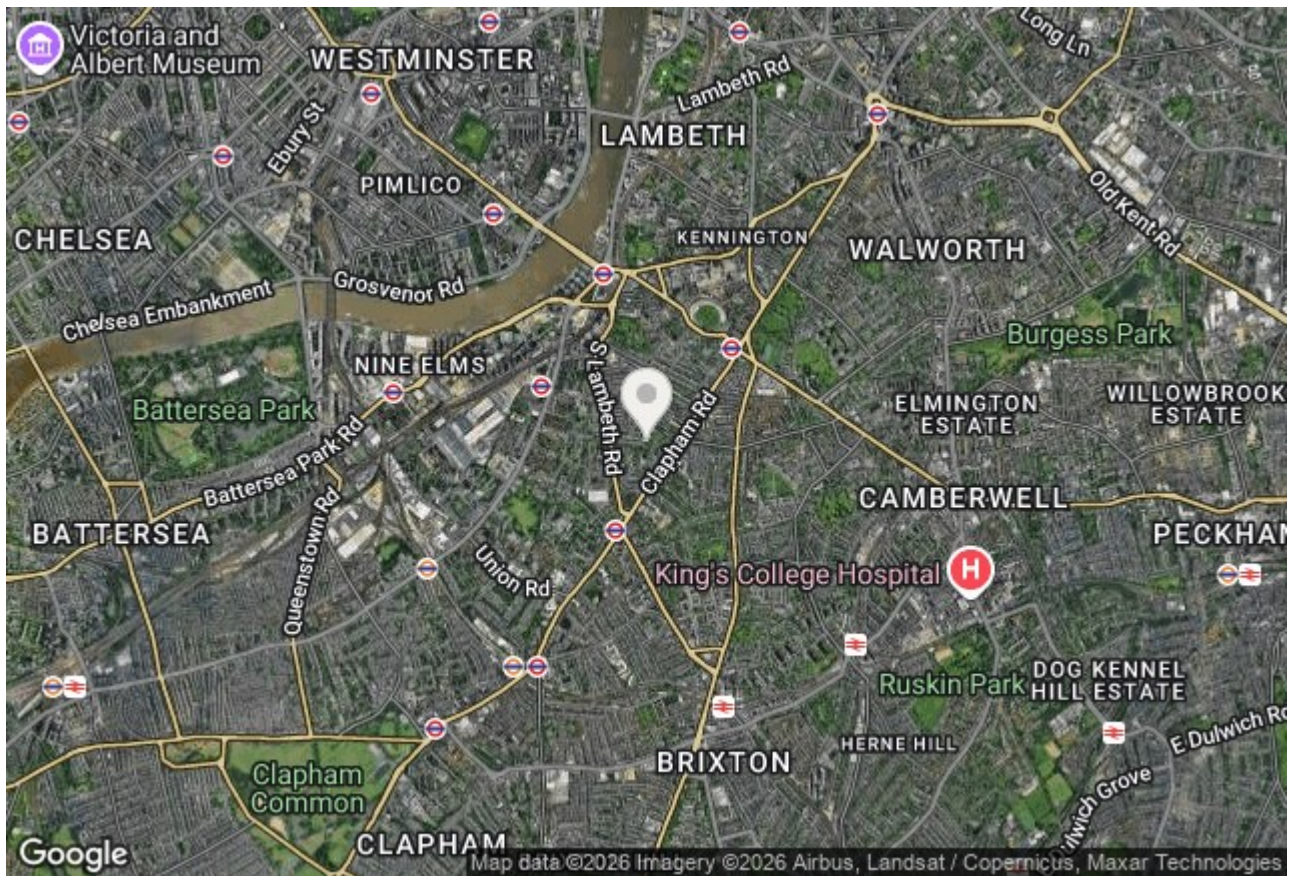
RESTRICTED HEAD HEIGHT
 0.82 sqm / 8.83 sqft

spec Verified

RICS Certified Valuer

Specified floor plans are produced in accordance with Royal Institution of Chartered Surveyors Property Measurement Standards. Plans and gardens are illustrative only and excluded from all area calculations. Due to rounding, numbers may not add up precisely. All measurements shown for the individual floor heights and widths are the maximum points of measurements captured in the scan.

IPMS 3B RESIDENTIAL 355.80 sqm / 3790.22 sqft
IPMS 3B RESIDENTIAL 343.62 sqm / 3700.22 sqft
 IPMS #: 62916768726600000000000000000000



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Agents Note: Whilst every care has been taken to prepare these sales particulars, they are for guidance purposes only. All measurements are approximate and for general guidance purposes only and whilst every care has been taken to ensure their accuracy, they should not be relied upon and potential buyers are advised to recheck the measurements.